

PLAN COMMISSION MEETING MEMORANDUM

TO: David Valentine, Chairman
Plan Commission & Town Board

FROM: Eric Ryer, Asst. Administrator/Clerk

MEMO WRITTEN: February 4, 2016

SUBJECT: **Agenda Item # 4a:** Discussion on updating the Five Corners Master Plan*

BACKGROUND

Like most long-range planning documents, municipal master plans don't always age well. The economy, market forces, transportation issues, and development trends can dramatically change over time. As such, it's important the plan for the Five Corners area reflects the realities of today. Drafting of the Five Corners Master Plan (FCMP) began in August 2005 and was completed in 2006. Since then, the Great Recession has made its mark on all levels of the economy. Locally, much has changed over the past nine years. Average daily traffic at Five Corners has grown by 67%. Business development and planning by neighboring communities have already directly impacted the Five Corners area. The FCMP didn't consider these factors, analyze the residential and commercial markets, or assess the Town's competitive position.

UPDATE OUTLINE

More than any other area in the Town, the Five Corners Business District will pose a myriad of questions in the years to come. Some of these questions include (**Plan Commission responses shown in red**):

- Should residential development be considered? If so, what type(s) and how dense? **Yes, pedestrian friendly in the form of mixed-use, senior, and traditional housing as options.**
- How can Town-owned properties be leveraged for the greater good?
- What type of businesses should be pursued? **Focus on new business development.**
- What role should cultural/recreational attractions and pedestrian facilities play? **Incorporate the Sports Complex.**
- Are public improvements needed to facilitate development?
- Are there public finance tools/public-private partnerships the Town could pursue that could assist the Town with its goals? **Continue relationship with PWSB loan program.**

Town decision-makers will be better equipped to answer these and other questions by updating the Five Corners Master Plan.

PLAN COMMISSION DISCUSSIONS IN MAY/JUNE

The Plan Commission took up this discussion at their May 20th meeting, deciding to address the plan update internally. The first step in this deliberate and thorough process was a discussion on the purpose of the plan at the June meeting. Staff presented four questions to the Commission regarding this. Those questions, along with Commission responses (**in red**) are below.

- Should future development of Five Corners focus primarily on tax base growth? **Yes.**
- Or accommodating certain types of new businesses/services (i.e. Recreation hub/Sports Complex)? **Yes, bring in new business and continue to strive for realization of the Sports Complex.**
- Or drawing more customers for existing businesses? Or some sort of a combination? **Growth of new business is priority over focusing on current businesses.**
- Or perhaps some other role? **Attempt to attract restaurants connected to public spaces such as compact parks or gathering areas.**

The Commission directed staff to take into consideration their comments and update the statement for review at the July meeting. The recommended updated statement is shown below.

Old statement: “to create a vibrant and pedestrian-friendly “town center,” featuring mixed-use development and providing a focal point and gathering place for the town”.

New statement: “to create a vibrant and pedestrian-friendly “town center,” attracting new business, generating tax base growth, and realizing the construction of a Sports Complex”.

JULY MEETING

The next logical step was to begin updating the “Introduction and Background” section of the plan. While only three pages in length, updates to this section set the stage for the remainder of the plan update. Topics addressed within this section of the existing plan, associated questions, **and Commission responses** include:

- Incorporate the updated purpose statement as confirmed by the Plan Commission (**seen above**)
- Review the area to which the Five Corners Master Plan applies. **The Commission directed Administrator Culotta to contact the Grob family to see if they are interested in adding their Airport Fields properties to the Five Corners Business District & Town Center Overlay area.**
- Public input. Staff presented business and resident surveys that could be circulated with the fall Town newsletter. **The Commission directed staff to issue surveys (including a question regarding senior housing as an option in the Five Corners area and Town as a whole). The resident survey went out with the fall newsletter, and the business survey was available to those on the Town business list.** *Of note is the original Master Plan was drafted with the assistance of a steering committee, stakeholder and property owner interviews/workshop, and concluded with a Joint Steering Committee/Plan Commission meeting.*

SEPTEMBER MEETING

Cody Gunstenson, a representative with Buxton, gave a presentation to the Commission regarding retail recruitment noting a partnership with Buxton would cost \$50,000 annually. Although the Commission appreciated the presentation, it was a general agreement of the Commission this was not a good fit due to the Town’s characteristics. The Commission also noted the Design Guidelines and Standards approved by the Board in August of 2014 and Design Preference Survey contained within the current Five Corners Master Plan did not need any updates at this time.

OCTOBER MEETING

The business and resident Annual survey results were discussed at this meeting. Preferred residential development in the Five Corners area was single-family (70%), independent living (57%), and senior retirement community (50%). Also, 50% said the Town should be prioritizing for a sports complex, and 45% supported mixed use residential and commercial development. The Commission reviewed the project goals in the current version of the Plan and did not see a need to change any of the current goals in the Plan. The also answered the two questions below:

- How does the current data align with the goals found in the current version of the Master Plan? **Chairman Valentine noted the survey data supports the current Master Plan.**
- Does this data influence the Commission’s vision for the Master Plan moving forward? **Chairman Valentine noted the survey data encouraged the Commission and Town to continue the current Plan update path.**

NOVEMBER & DECEMBER MEETINGS

In November, the Plan Commission recommended a new draft Chapter 4 regarding a comparison to neighboring communities and how they compete with the Town be added to the Plan. In December, the Commission recommended a new draft Chapter 5 regarding public input and market analysis be added to the Plan.

JANUARY MEETING

In January, the Plan Commission reviewed suggested edits to chapters 4-6. The consensus of the Commission was to accept edits proposed by staff that would update maps and text. The Commission also directed staff to make the following changes: decrease density shown on the renderings of the planning area, add the St. Francis School, remove the roundabout west of Five Corners, and replace the triangle intersection at CTH NN and STH 181 with a roundabout as proposed by WisDOT. Further text edits should included: replace the phrase “joint ownership” on page 10 to something along the lines of “joint efforts to remedy the site,” when referring to the Prochnow landfill, add recreation to the vision on page 12, add senior housing for consideration on the former Huiras property, and lastly to replace the Town Center Design Review Board with staff in regards to the development review process.



CURRENT MEETING: ADDRESSING DESIGN GUIDELINES

At the September 16, 2015 meeting, the Plan Commission recognized the Five Corners Master Plan contains Design Guidelines of a non-binding nature. The initial feeling was that no updates are needed at this time. However, this section is the next to address as we work our way through the plan update, so I would like to provide some background and pose a few questions to the Commission to make sure this is thoroughly addressed.

BACKGROUND

On June 3, 2009, the Town Board expanded planning efforts through the approval of design guidelines for two-family / multi-family / senior developments. The guidelines were **policy preference documents, non-binding and not codified**. In addition to these design guidelines, the Five Corners Master Plan (April, 2006) contained **non-binding site and design guidelines**, as well as a design preference survey.

In 2013-2014, the Town continued planning efforts by drafting **binding design guidelines and standards** for commercial, multi-family, senior care, institutional and government facilities via the *Town of Cedarburg Design Guidelines and Standards*. The guidelines and standards were then codified. Leaders recognized buildings have an immediate and lasting impact on a community. The design of a building can influence how others perceive a neighborhood and area as a whole. The quality of buildings and site features can impact investment decisions by possible residents and businesses. High-quality buildings will grow the Town’s tax base, attract additional development, support higher property values, and further foster an identity for the Town.

Questions to the Commission:

The Town essentially has two sets of design guidelines currently on the books; one stand-alone set binding in nature and codified, and a second set non-binding but contained within the Five Corners Master Plan.

Please review both sets of design guidelines. In a nutshell, both documents need to be consistent with one another, but there are different ways of accomplishing this.

- 1. OPTION #1: REPLACE:** insert the recently adopted Design Guidelines and Standards into the Five Corners Master Plan to REPLACE those currently in the Five Corners Master Plan. This would result in one set of design guidelines for people to reference. This would simplify things, but result in the loss of additional detail.
- 2. OPTION #2: REMAIN:** allow the current guidelines in the Five Corners Master Plan to REMAIN, but be updated based on the binding stand-alone Design Guidelines and Standards. This would maintain two different sets of design guidelines. Having two sets would retain additional detail, but muddy which source to follow.

ACTION REQUESTED

Staff requests the Commission review both sets of design guidelines and direct staff on the preferred option above. Staff will then bring back edited sections at the next meeting. **It is a lot of material to cover so we can discuss the differences at the meeting.**

ATTACHMENTS

- I. Design Guidelines and Standards (stand-alone document binding in nature and codified)
- II. Design Guidelines from the Five Corners Master Plan (section within the plan and non-binding in nature)



Town of Cedarburg

Design Guidelines & Standards

Commercial / Multi-Family / Senior Care / Institutional/ Government Facilities

Adopted August 6, 2014



Manual Approved by the Town Board via Resolution 2014-13 on August 6, 2014
Ordinance 2014-8 Approved by the Town Board on August 6, 2014

Town of Cedarburg Town Board:

David Valentine (Chairman)

Joe Rintelman

David Salvaggio

Gary Wickert

Wayne Pipkorn

Town of Cedarburg Plan Commission

David Valentine (Chairman)

Joe Rintelman

Ralph Luedtke

Paul Waldo

Rick Goeckner

Ed Downey

Dan Wundrock

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Introduction

The Town of Cedarburg provides planning documents to help ensure the community develops in a manner consistent with its heritage and the vision community leaders have for the future. These efforts include the Comprehensive Plan, Comprehensive Park Plan, and Five Corners Master Plan, which were taken into account while drafting this document.

On June 3, 2009, the Town Board expanded planning efforts through the approval of design guidelines for two-family / multi-family / senior developments. The guidelines were policy preference documents, non-binding and not codified. In addition to the design guidelines, the aforementioned Five Corners Master Plan (April, 2006) contained non-binding site and design guidelines, as well as a design preference survey.

In 2013-2014, the Town continued planning efforts by drafting these binding design guidelines and standards for commercial, multi-family, senior care, institutional and government facilities. Leaders recognized buildings have an immediate and lasting impact on a community. The design of a building can influence how others perceive a neighborhood and area as a whole. The quality of buildings and site features can impact investment decisions by possible residents and businesses. High-quality buildings will grow the Town's tax base, attract additional development, support higher property values, and further foster an identity for the Town.

Process

The Town welcomed input from the community during the creation of these guidelines and standards, including business owners within the Five Corners business district. The goal of the process was to create binding guidelines and standards that would ensure attractive development realized through a streamlined application process that did not create unnecessary hurdles for developers. Town staff also gathered input from the Town Assessor in an effort to recommend site plan and architectural features that would provide the greatest positive visual impact at the least cost to the developer, as well as the Building Inspector, who will implement the design guidelines and standards.



Left: Eernisee Funeral Home.
This is a favorable example of
design efforts in the Five
Corners area.

Multi-Family Residential & Senior Care Facilities Guidelines & Standards¹

Multi-family: more than two separate housing units for residential (i.e. non-commercial) inhabitants are contained within one building or several buildings within one complex.

Senior Care facility: facility that fulfills the special needs and requirements that are unique to senior citizens.

1. Building Placement.

- 1.1. Buildings shall be placed parallel to the street edges when possible, or perpendicular to the street if arranged around a courtyard or other open space.
- 1.2. When located within the Town Center Overlay District, buildings shall be placed close to the right-of-way when possible to help create a sense of pedestrian friendliness and accessibility.
- 1.3. If buildings are substantially setback from the street, decorative fences, walls and/or landscape elements shall be used to hide parking lots and vehicles from view and maintain the privacy of residential units.

Unacceptable**Acceptable**

¹ Reference regarding all landscape elements: if any die, they must be replaced within 6 months of dying.

2. Parking and circulation.

- 2.1. Parking shall not be located in the front yard in the Five Corners Town Center Overlay District. Street facing garage doors are not allowed in the Five Corners Town Center Overlay District; they are strongly discouraged in other areas of Town.
- 2.2. Detached garages shall be designed and constructed of like materials of the principal structure.
- 2.3. Parking lots shall not be placed at street corners.
- 2.4. Parking lots shall be screened from adjacent streets, public spaces and residential uses by use of landscaping, decorative fences/garden walls and or low berms.
- 2.5. Berms shall not exceed three feet above the centerline of the road, and must be landscaped for at least 75% of their length.
- 2.6. Stormwater detention devices (i.e. ponds and outfalls) shall be landscaped with planting beds and bushes for at least 50% of their circumference.
- 2.7. Pedestrian walks at least four feet in width are required for developments within the Town Center Overlay District. Acceptable materials include concrete, brick, stone (no loose aggregate) or wood (natural or man-made). These walks shall be planned to connect to existing or planned future walks on adjacent properties and the Town pedestrian/bicycle network.

Unacceptable

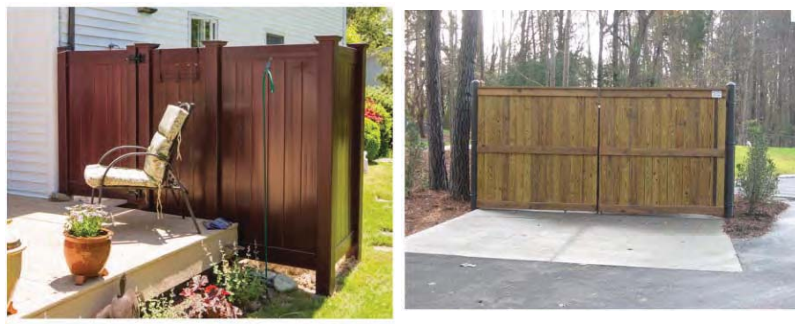


Acceptable



Left: two examples of pedestrian walks. The example at the far left is a permeable pavement surface.

3. Service and loading areas.
 - 3.1. Service and utility areas shall be inside the building or located at the rear of the building and screened from the public view with fencing and/or solid evergreen landscaping.
 - 3.2. Dumpsters shall be completely screened from view by brick, stone, or wood fencing (natural or man-made).
 - 3.3. Utility service lines shall be buried and located at the rear or side lot lines. Meters, transformers, AC units, and fuel tanks shall be completely screened from public view with decorative fencing, walls and/or solid evergreen landscaping if at ground level, or completely screened from public view with a decorative enclosure to mimic other materials used on the façade if on the roof of the building.

Unacceptable**Acceptable**

4. Landscape.
 - 4.1. A landscape plan shall be submitted with new buildings, additions, or building remodel.
 - 4.2. Paved parking areas shall be landscaped with a minimum of 4 trees for every 20 stalls; paved parking areas less than 20 stalls must have at least 4 trees. Trees shall be at least 2 inch caliper and at least 4 feet tall at time of planting. Plantings shall be planted in and around the paved area with emphasis on screening of surface lots from adjacent uses and public streets.
 - 4.3. A minimum of 50% of the street facing facades shall contain foundation plantings and at least 1 tree shall be planted per 50 feet of lot street frontage.

Unacceptable**Acceptable**

5. Architecture.
 - 5.1. Buildings shall be designed to give the building scale and visual appeal.
 - 5.2. Elevations shall contain features that add depth and avoid the appearance of flat residential facades.
 - 5.3. New construction shall take into account the scale and character of any historic buildings in the adjacent area.
 - 5.4. New buildings and additions shall be designed with simple rectangular volumes; cylindrical, pyramidal, and other elaborate forms as the main building are not allowed.

Unacceptable



Acceptable



6. Entryways.

- 6.1. The primary building entrance shall be easily identified through the use of architectural details and/or other treatments such as awnings, canopies or porches.
- 6.2. Buildings located at the intersection of roadways shall be designed with angled entrances at the corner.

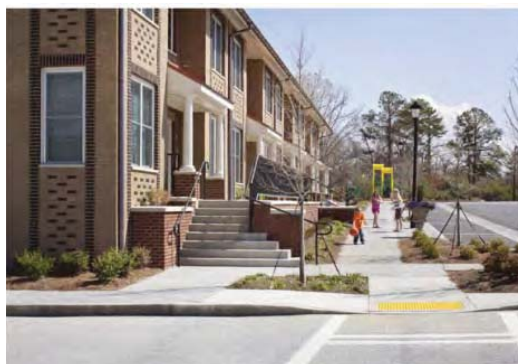
Identifiable Entry



Identifiable Entry



Identifiable Corner Entry



7. Signage and lighting.
 - 7.1. Signage shall not be internally illuminated box signage. Internally illuminated box signage existing at the time of adoption of these guidelines and standards is considered legal/existing nonconforming, however, if the sign is replaced or a new sign face is desired, an internally illuminated box sign is no longer allowed. The only internally illuminated signage allowed is individual letters/logos.
 - 7.2. The brightness of signage and other lighting must meet Town Code specifications.



Left: ground sign identifying multi-family housing.

8. Materials and colors.
 - 8.1. Acceptable materials for all sides of buildings (aside from glass windows) include common size brick, natural stone (i.e. limestone, fieldstone, lannon stone), cement board siding, wood siding, and man-made brick, stone, wood, stucco, or EIFS.
 - 8.2. Building color shall avoid the use of purple, pink and fluorescent colors, except for as accents on awnings and other decorative features.
 - 8.3. When a rear façade faces a street, the rear façade shall be designed as a front façade.
 - 8.4. Acceptable roofing materials include clay tiles, wood shingles, slate, asphalt shingles, and metal. "Green roofs" composed of organic materials are an acceptable option in new construction.
9. Outdoor spaces and amenities.
 - 9.1. The creation of on-site green spaces and public/private courtyards and other amenities is encouraged.



Left: courtyard at a multi-family housing development.

Commercial/Mixed Use Design Guidelines & Standards

These guidelines and standards apply to new developments and proposed structures with B-1, B-2, B-3, and M-2 zoning. They also apply to all other parcels, regardless of zoning district, that fall within the Town Center Overlay District (TCOD), whether or not they use the TCOD process, to ensure that all new developments and redevelopments in this area occur in a consistent fashion. They also apply to Planned Unit Developments anywhere in town regardless of zoning.

1. Building Placement.

- 1.1. Buildings shall be oriented towards adjacent public streets, courtyards and other public spaces.
- 1.2. Buildings shall be placed parallel to the street edges, or perpendicular to the street if arranged around a courtyard or other open space.
- 1.3. When located within the Town Center Overlay District, buildings shall be placed close to the right-of-way when possible to create a sense of pedestrian friendliness and accessibility.
- 1.4. If parking is located between the building and the street, see-through decorative fences not taller than four feet, walls not taller than four feet, and/or landscape elements not taller than four feet shall be used to hide parking lots and vehicles from view.

Unacceptable

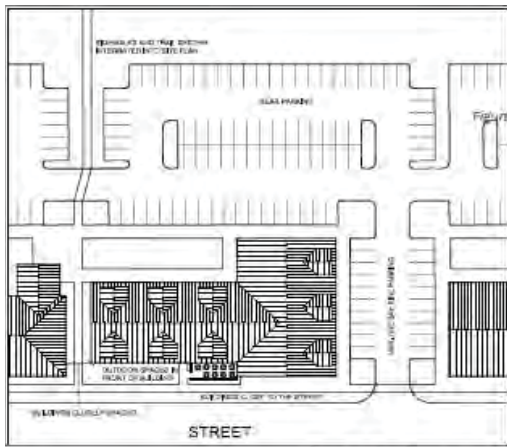


Acceptable



2. Parking and vehicle/pedestrian circulation.
 - 2.1 Parking lots shall not be placed at street corners.
 - 2.2 Parking shall not be located in the front yard in the Town Center Overlay District (TCOD).
 - 2.3 In general, parking lots shall be screened from adjacent streets, public spaces and residential uses by decorative fences, walls and/or landscape elements no taller than four feet in height.
 - 2.4 Pedestrian walks at least four feet in width are required for developments within the Town Center Overlay District. Acceptable materials include concrete, brick, stone (no loose aggregate) or wood (natural or man-made). These walks shall be planned to connect to existing or planned future walks on adjacent properties and the Town pedestrian/bicycle network.

Acceptable



**Above left: site plan showing side and rear parking.
Above right: aerial view of rear lot shared parking.**

3. Service and loading areas.
 - 3.1. Service, loading and utility areas shall be inside the building or located at the rear of the building and completely screened on all sides from the public view with decorative fences, walls and/or solid evergreen landscaping.
 - 3.2. Street facing garage doors are not allowed on new developments.
 - 3.3. Dumpsters shall be completely screened on all sides from view by brick, stone, or wood fencing (natural or man-made); the enclosure could be further screened by evergreen plantings.
 - 3.4. Utilities shall be buried and located at the rear or side lot lines. Meters, transformers, AC units, and fuel tanks shall be completely screened from public view with decorative fencing, walls and/or solid evergreen landscaping if at ground level, or completely screened from public view with a decorative enclosure to mimic other materials used on the façade if on the roof of the building.

Unacceptable**Acceptable**

Above: examples of acceptable screening for utilities located on the roof.

4. Landscape.
 - 4.1. A landscape plan shall be submitted with new buildings, additions, or building remodel.
 - 4.2. Paved parking areas shall be landscaped with a minimum of 4 trees for every 20 stalls; paved parking areas less than 20 stalls must have at least 4 trees. Trees shall be at least 2 inch caliper and four feet in height at time of planting.
 - 4.3. Plantings shall be placed in and around the paved area with emphasis on screening of surface lots from adjacent uses and public streets and breaking up large contiguous paved areas.
 - 4.4. Detention and retention ponds that are visible from the road or parking lot must be landscaped with planting beds and/or bushes for at least 50% or their circumference.

Unacceptable



Acceptable



5. Architecture.

- 5.1. Buildings shall be designed to give the building scale and visual appeal. All facades visible from a street, parking or walkway shall contain features that add depth and avoid the appearance of flat facades.
- 5.2. Any flat roofs must be completely shielded from view by architectural facades, and mechanical equipment shall be screened from view.
- 5.3. Buildings located at street corners shall define the intersection with distinctive architectural character with features such as towers and recessed entries.
- 5.4. Building scale and height shall be compatible with that of adjacent residential units when such parcels abut.

Unacceptable



Acceptable



6. Entryways.

- 6.1. The primary building entrance shall be easily identified through the use of architectural details and/or other treatments such as steps, porches, stoops, bays, canopies, awnings, and balconies.

Acceptable Entry



Acceptable Corner Entry



7. Signage and lighting.

- 7.1. Signage shall not be internally illuminated box signage. Internally illuminated box signage existing at the time of adoption of these guidelines and standards is considered legal/existing nonconforming, however, if the sign is replaced or a new sign face is desired, an internally illuminated box sign is no longer allowed. The only internally illuminated signage allowed is individual letters/logos.
- 7.2. The brightness of signage and lighting must meet Town Code specifications.

Unacceptable



Acceptable



8. Materials and colors.

8.1. Acceptable materials for all sides of buildings (aside from glass windows) include common size brick, natural stone (i.e. limestone, fieldstone, lannon stone) and wood, cement board siding, and man-made brick, stone, wood, stucco, or EIFS. The use of corrugated metal, reflective glass, aluminum, and narrow gauge vinyl is not allowed.

8.2. Building color shall avoid the use of purple, pink and fluorescent colors, except for as accents on awnings and other decorative features.

8.3. When a rear façade faces a street, the rear façade shall be designed as a front façade.

8.4. Acceptable roofing materials include clay tiles, wood shingles, slate, asphalt shingles, and metal. "Green roofs" composed of organic materials are an acceptable option in new construction.

Unacceptable



9. Outdoor spaces and amenities.

- 9.1. When on-site green spaces and public/private amenities are incorporated into site plans, they shall be designed so as to connect to current and possible future amenities on neighboring properties such as seating areas, water features and courtyards with walkways at least four feet wide.
- 9.2. Pedestrian walkways shall be constructed of concrete, brick, stone (no loose aggregate) or wood (natural or man-made).

Encouraged outdoor spaces and amenities



Institutional & Governmental Facilities Guidelines & Standards

These guidelines and standards apply to all government and institutional facilities including but not limited to schools, colleges, churches and hospitals, regardless of zoning or location within the Town.

1. Building Placement.

- 1.1. Buildings shall be oriented towards and respond to adjacent public streets, courtyards and other public spaces.
- 1.2. Elements such as decorative fences, walls and/or landscape are required to buffer the use from adjacent uses and the roadway.

Unacceptable



Unacceptable



Acceptable



Acceptable



2. Parking and circulation.
 - 2.1. Parking lots and driveways shall not be placed at street corners.
 - 2.2. Parking lots and driveways shall be bordered by planting beds and/or decorative fences/garden walls for at least 40% of their length to provide screening from adjacent streets, public spaces, and residential uses.
 - 2.3. Parking structures are limited to three levels or the height of the highest principal structure and must have a façade constructed of the same materials as the buildings.
 - 2.4. Pedestrian walks connecting parking lots to buildings and public spaces shall be incorporated into all site plans and must be of a solid surface (no dirt or gravel etc.).

Unacceptable**Acceptable****Below: aerials of well-planned campuses**

3. Service and loading areas.
 - 3.1. Service, loading and utility areas shall be inside the building or located at the rear of the building and screened on all sides from the public view with decorative fences, walls and/or solid evergreen landscaping.
 - 3.2. Dumpsters shall be completely screened on all sides from view by brick, stone, or wood fencing (natural or man-made); the enclosure could be further screened by evergreen plantings.
 - 3.3. Utilities shall be buried and located at the rear or side lot lines. Meters, transformers, AC units, and fuel tanks shall be completely screened from public view with decorative fencing, walls and/or solid evergreen landscaping if at ground level, or completely screened from public view with a decorative enclosure to mimic other materials used on the façade if on the roof of the building.

Unacceptable Loading Area**Unacceptable Dumpsters****Acceptable Loading Area****Acceptable Dumpster Enclosures**

4. Landscape.
 - 4.1. A landscape plan shall be submitted with new buildings, additions, or building remodel.
 - 4.2. Plantings shall be placed in and around the paved area with emphasis on screening of surface lots from adjacent uses and public streets and breaking up large contiguous paved areas.
 - 4.3. Adjacent properties shall be screened with dense landscaping such as tree plantings, shrubs, garden walls, hedges, fences and berms. Trees shall be at least three inch caliper and four feet tall at planting, and shrubs at least three feet tall at planting.

Acceptable



5. Architecture and Entryways.

- 5.1. Buildings shall be designed to give the building scale and visual appeal. Facades are encouraged to contain features that add depth and avoid the appearance of flat facades.
- 5.2. Corner buildings (corners of public roads) shall define the intersection with distinctive architectural character.
- 5.3. Mechanical equipment shall be screened from view.
- 5.4. The primary building entrance shall be easily identified through the use of architectural details and/or other treatments such as steps, porches, stoops, bays, canopies, awnings, and balconies.

Unacceptable



Acceptable



6. Signage and lighting.
 - 6.1. Signage shall not be internally illuminated box signage. Internally illuminated box signage existing at the time of adoption of these guidelines and standards is considered legal/existing nonconforming, however, if the sign is replaced or a new sign face is desired, an internally illuminated box sign is no longer allowed and signs must be upgraded to meet current sign code. The only internally illuminated signage allowed is individual letters/logos.
 - 6.2. The brightness of signage and lighting must meet Town Code specifications.

Samples of acceptable Signage



Above: Example of Good Site Lighting

7. Materials and colors.

- 7.1. Building materials. Acceptable materials for all sides of buildings (aside from glass windows) include common size brick, natural stone (i.e. limestone, fieldstone, lannon stone) and wood, cement board siding, and man-made brick, stone, wood, stucco, or EIFS. The use of reflective glass and aluminum is prohibited unless for decorative use and consisting of less than 20% of the façade area.
- 7.2. The use of corrugated metal and narrow gauge vinyl is not allowed.
- 7.3. Building color shall avoid the use of purple, pink and fluorescent colors, except for as accents on awnings and other decorative features.
- 7.4. When a rear façade faces a street, the rear façade shall be designed as a front façade.
- 7.5. Acceptable roofing materials include clay tiles, wood shingles, slate, asphalt shingles, and metal. "Green roofs" composed of organic materials are an acceptable option in new construction.

Unacceptable

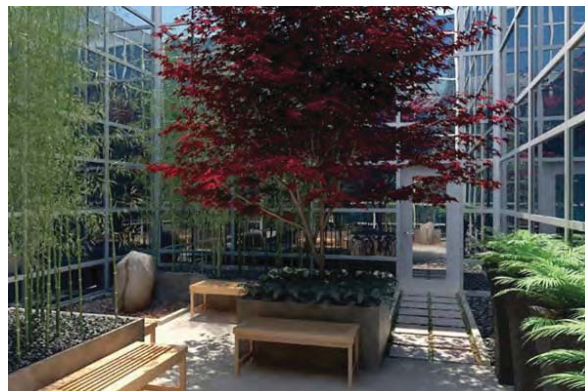
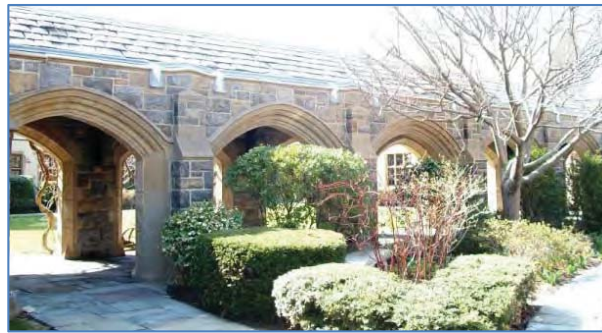


Acceptable



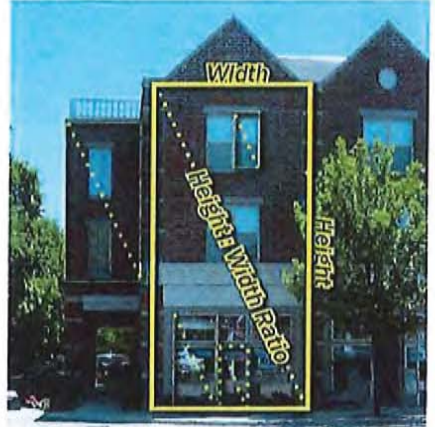
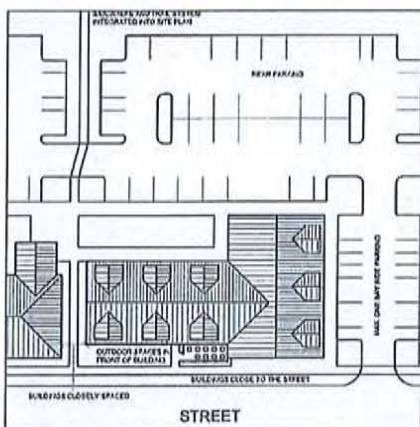
8. Outdoor spaces and amenities.
 - 8.1. The creation of on-site green spaces and public/private amenities is encouraged.
 - 8.2. When on-site green space and public/private amenities are incorporated into site plans, they shall be designed so as to connect to current and possible future amenities on neighboring properties such as seating areas, water features and courtyards with walkways at least four feet wide.
 - 8.3. Pedestrian walkways shall be constructed of concrete, brick, stone (not loose aggregate) or wood (natural or man-made).

Below: Examples of Outdoor Spaces / Amenities



Five Corners Master Plan

Design Guidelines



PLANNING AND DESIGN INSTITUTE, INC.

241 N BROADWAY SUITE 300 MILWAUKEE WI 53202 414.271.2545 WWW.PDISITE.COM



Site Character

The Five Corners Town Center Redevelopment area contains both spaces intended for high levels of activity, and others intended to be less active and more natural in character. The following pages define the existing and desired character of all spaces in the Five Corners to better shape development results. Guidelines will be tailored to each sub-area of the district and its unique character; attempting to utilize the same guidelines to achieve different development goals will likely result in haphazard undesirable development.

Five Corners Town Center District Place Characters

The Five Corners Town Center District contains a variety of parcels and contexts appropriate for many uses. The district is an opportunity to create a more urban node in an otherwise rural Town of Cedarburg. The character present in this area must reflect the goals of the district while being sensitive to the surrounding context. The Town Center is indicated in figure DG 2.0 on page DG-7.

The Five Corners Town Center District currently is currently a mix of commercial uses intertwined with civic, residential, and institutional uses (fig. DG 1.1, 1.3-1.6). Parcels are generally deep, with more conventional suburban strip development occurring near the state highways.

Aside from development, open spaces, environmental features and environmental constraints are characteristic of this area. Several delineated environmental corridors, various soil conditions, wetlands and floodplains have dictated development locations.

In general, new development in the Five Corners Town Center District will contrast with yet compliment existing development in the Town of Cedarburg. Development is to be concentrated into nodes, creating greater activity in areas while preserving open spaces and natural features.

Commercial uses integrated with multifamily development is appropriate for this district. Commercial uses along Highway 60 have greater visibility and the opportunity for office and retail development; spaces with less immediate visibility from major corridors are appropriate for office, residential and recreational uses.

Locations at greater distances from major corridors and screened from other development areas are more appropriate for larger footprint buildings. Development in these areas should be primarily office or industrial uses in order to maximize the economic impact of the redevelopment.



Figure DG 1.1



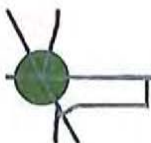
Figure DG 1.2



Figure DG 1.3

Town of Cedarburg

Five Corners Town Center



Main Street Pedestrian Sub-area Place Character

This sub-area will become the main street of the Town and should be the most active and interesting, and possess the greatest power to draw people to it. It should be easily accessible and usable by pedestrians and drivers alike, creating a place where the Town comes together. The Main Street Pedestrian Sub-area is indicated in figure DG 3.0 on page DG-17.

The Town of Cedarburg is a historically rural community (fig. DG 1.2) which now seeks to create an urban node of new development to compliment the existing rural character. The Five Corners intersection, the historic commercial core of the Town, is the focal point of the redevelopment plan. Buildings and site plans should strive to enhance the current character of the Five Corners area.

Surrounding parcels should embrace and enhance a "Main Street" feel by becoming the most active and intense areas. The majority of commercial activity should be located in this area, including office and retail uses, and the district should strive to be the "market" serving the Town. Developing restaurants, cafes, and other entertainment uses helps maintain activity in the area by attracting people at different times of the day.

Buildings should contribute to this character by being located closer to the street, with less distance between adjacent structures. Highly articulated buildings of two to three stories are appropriate for this location. Parking should be a combination of on-street and off-street and users should expect to walk between adjacent destinations.



Figure DG 1.4



Figure DG 1.5

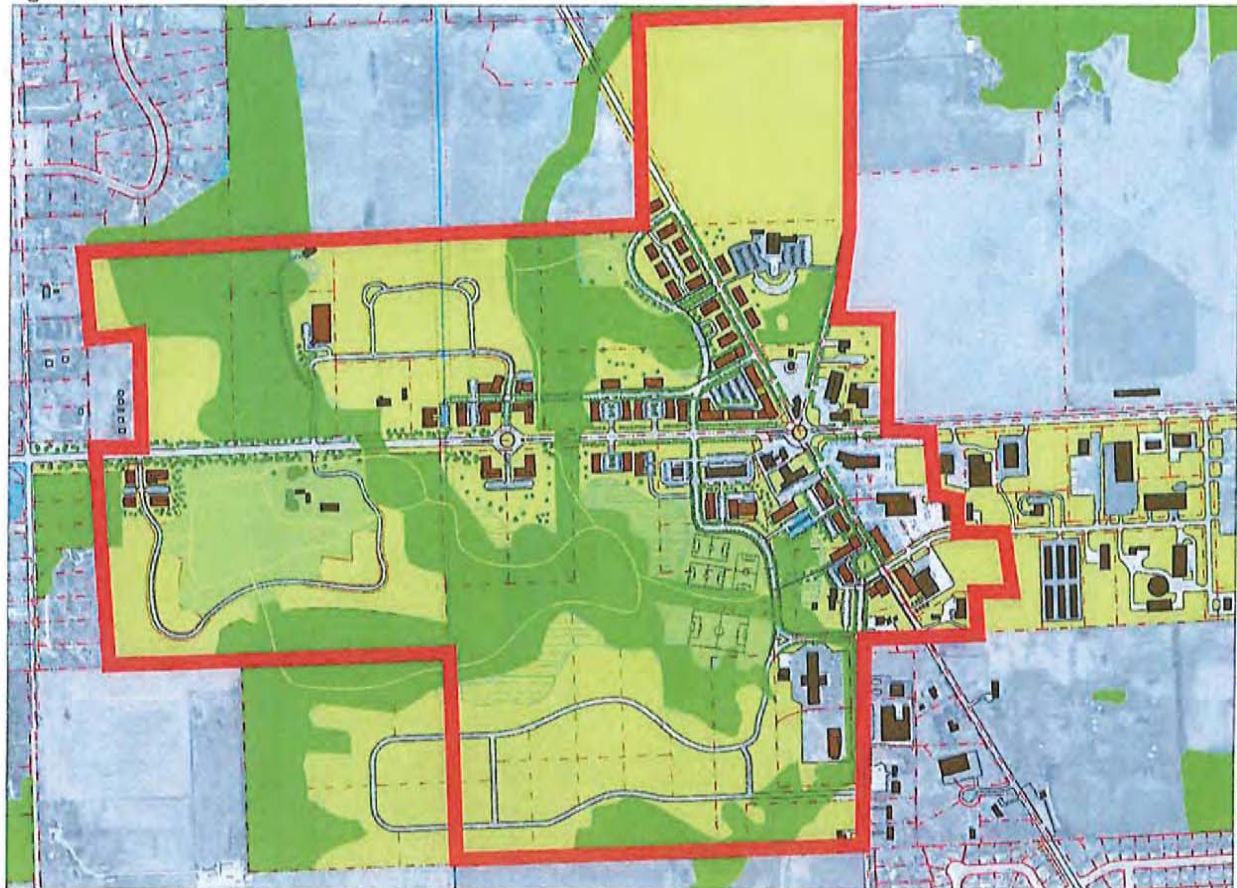


Figure DG 1.6

Five Corners Town Center Guidelines

The following guidelines are intended to aid developers, property owners and designers to create site plans and buildings that respond to the desired character traits of the Five Corners Town Center District.

Figure DG 1.2



Land Use

The Five Corners Town Center District is intended to be a mix of primarily multifamily residential and commercial. Commercial uses are projected on the more visible land adjacent to the main highways. Within this district, there are opportunities for additional land uses so long as they are complimentary to other uses present in the district.

Encouraged uses within the Five Corners Town Center District primarily include commercial (retail and offices), multifamily residential, recreational and civic. Uses in this area should be of higher intensities than found elsewhere in the Town of Cedarburg, yet not too intense as to detract from adjacent rural and natural spaces found outside the redevelopment Area.

Commercial buildings (fig. DG 2.2, 2.3) should be occupied by retail, office or other non-offensive uses. Buildings may house a single or multiple tenants; mixed-use buildings including office and retail are encouraged. Commercial buildings along the major corridors are encouraged to have a retail component on the ground floor.

Multifamily uses, either located above retail or in stand-alone buildings are encouraged. Smaller apartment-style buildings, townhouses and row houses are appropriate styles of multifamily development (fig. DG 2.1). Two-family homes (duplexes, flats and "twindominiums") may also be appropriate depending upon location.



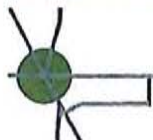
Figure DG 2.1



Figure DG 2.2



Figure DG 2.3



Five Corners Site Composition

A well composed site, with building(s), parking and outdoor features properly located, creates a place with visual appeal and draws people in. The placement of a building(s) on a site and its relationship to the surroundings is the most critical factor in creating a memorable place. Irregular or unorganized building placement results in environments that have little or no draw to them.

Development within the Five Corners Town Center District should respond to the goals outlined in the redevelopment plan and the existing character found in the Town of Cedarburg.

All buildings should be oriented toward the street, but may be set back to better correspond with the existing rural character. The building should remain the primary visible feature seen from the public right-of-way, however other elements may begin to take significant roles in the visual composition.

The visual impact of parking should be minimized from public view (fig. DG 2.4, 2.5). Parking should be placed in the rear or side of the parcel with limited parking in front

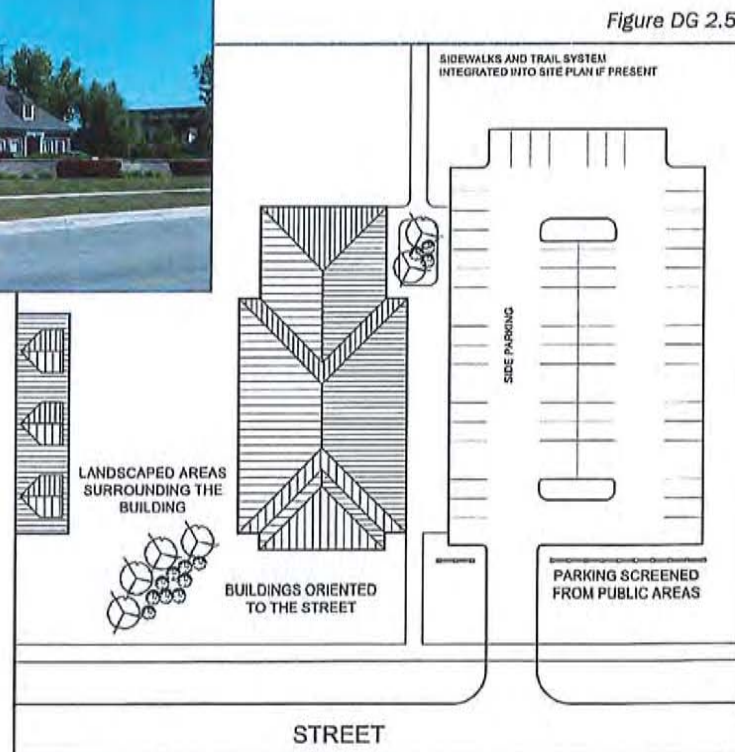
of the building. Site plans should avoid placing parking in front of the building; if parking in front is unavoidable, a maximum of one bay (60') is acceptable.

Required unsightly building elements, such as service entries, loading areas and refuse enclosures should be located at the rear of the parcel with sufficient screening to prevent views from public areas and adjacent spaces.

Additionally, emphasis should be placed on creating quality landscape features in the space surrounding the building. Landscape should be arranged to compliment building forms and create desirable outdoor spaces surrounding the building.



Figure DG 2.4



Building Scale

Buildings within the Town Center District should be visually recognizable as a more urban. However, they should not be so large as to dominate and detract from the rural and open landscape found outside this district.

Buildings in the Five Corners Town Center Districts should typically be of one to two stories. Buildings have no minimum height requirement, however, multistory buildings are preferred on parcels adjacent to major corridors. In order to maintain a more natural character, buildings over three stories are discouraged.

In addition to height, visible length significantly impacts the perceived scale of a building. Buildings requiring large floorplates should be designed in a manner that prevents the appearance of an endless flat facade. Changes in plane, height or materials are techniques that break down the scale of a building facade and prevent the building from looking too plain (fig. DG 2.6-2.8).

Additionally, details in the facade should be included to help bring the scale of the building down to the human scale.



Figure DG 2.6

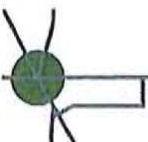


Figure DG 2.7

Development of appropriate scale for the Five Corners Town Center District.



Figure DG 2.8



Public Spaces

Public spaces encourage the establishment of community pride. Distinct outdoor features and amenities create value and desirability for the Town of Cedarburg. Spaces within this district should balance the more open and natural character generally found in the Town of Cedarburg with the more urban character of the Town Center.

Open spaces in this district should provide a visual and functional amenity for the user of these spaces. Outdoor spaces should be visible from public rights-of-way adding visual richness and activity to the public realm. Seating areas, planted lawns, landscaped areas and pavilions are encouraged (fig. DG 2.9, 2.11). Additionally, open spaces such as prairies and forested areas are also encouraged.

If stormwater detention ponds are included as an element in an open space design, they should be designed as naturally appearing features complimenting other adjacent plantings (fig. DG 2.10).

Open spaces should be designed to preserve existing site features, such as woodlands, wetlands and bodies of water. These spaces should also include the adaptive reuse of historic structures including traditional farmsteads, in order to maintain the cultural history of the Town of Cedarburg.

A trail or path system should be developed in conjunction with all open spaces in this area. Paths should connect with other spaces in the Five Corners creating the possibility of alternative means of transportation between destinations. Trails should take organic paths along their length; strong geometric paths should be avoided.



Figure DG 2.9



Figure DG 2.10



Figure DG 2.11

Public spaces and trail add value and desirability to an area, while increasing the activity present in those areas.

Parking

Parking lots designed as merely service areas have negative impacts on the visual quality and activity of an area. Parking areas should be designed to be a positive element of a development, being a place that has aesthetic value and the potential for other activities within it.

Effort should be taken to minimize the visual impact that parking areas impose on adjacent spaces found within the Town of Cedarburg (fig. DG 2.13).

Lot perimeters visible from public spaces should be screened with significant landscaping, including trees, shrubs and other plantings. Minimal berming may be appropriate in conjunction with other screening methods. Screening should be present on all sides of lots to obscure views from public areas and preserve natural views.

Within the lot, plantings and walkways should be incorporated to enhance the appearance of the area while adding functionality (fig. DG 2.12, 2.14). Pedestrian walkways provide a safe and attractive means of passage for pedestrians to and from their vehicles. Walkways should be buffered from driving lanes and parking stalls with landscaping and other features such as decorative paving and pedestrian-scaled lighting. Pedestrian crossings should be provided to access the walkways from other locations within the lot.

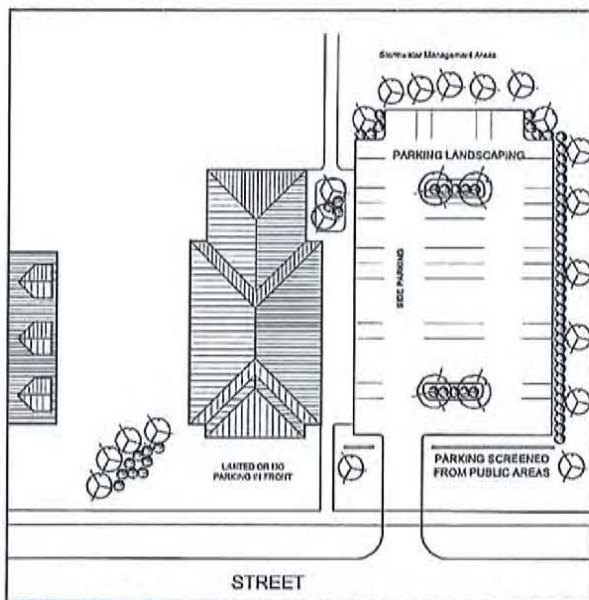


Figure DG 2.13: An example parking lot landscape plan with perimeter plantings and screening elements.

Parking areas should also be designed with stormwater retention devices incorporated into the plan. Bioswales and rain gardens can be integrated with other landscaping found within the lot. Porous paving should be investigated for each development to determine if it is a feasible alternative.

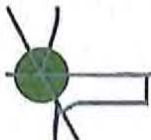
When possible, parking areas should be shared by adjacent users to eliminate unnecessary parking stalls and impervious surfaces. Users with different peak parking demand periods, such as office and restaurants, are especially encouraged to pursue this option.



Figure DG 2.12: Parking areas should have landscape and other features to break up the asphalt.



Figure DG 2.14



Buffers and Screening

Screening of certain required elements greatly enhances the overall appearance of a building or site. Additionally, buffers present between certain uses minimize unwanted visual or audible intrusions.



Figure DG 2.15: Berms should be heavily planted and have minimal slopes to appear as natural as possible.



Figure DG 2.16: Landscape is an effective, attractive way to screen parking lots and other non-attractive building elements.



Figure DG 2.17

Five Corners Town Center District Signage

While critical to business and wayfinding, signage should be a secondary visual feature to the building and place. Proper signage can compliment successful buildings and outdoor spaces whereas inappropriate signage can severely detract from an area.

Signage in the Five Corners Town Center District should respect the scenic open landscape character of the area while balancing the need for identification of a business or other use.

A building's primary signage within this district should be wall mounted (projecting or flat) or monument style (fig. DG 2.18, 2.23). Pole signage as well as billboard style wall-mounted or roof-mounted signs should be highly discouraged.

Secondary forms of signage, such as window, canopy or awning styles, are encouraged (fig. DG 2.24-2.26).

Signage should be designed to be consistent with the building facade or other site features. Similar materials, colors, and styles should be used to ensure the signage is consistent with the building design. Materials must be of high quality to prevent premature aging, fading, and weathering of the sign.

Signage should consist of individual letters and symbols affixed to a background, building wall surface or other armature. Preferred methods of signage illumination includes individually illuminated letters, backlit lettering or illumination from a nearby point source. Signage backgrounds should not be internally illuminated.

All signage must be consistent with the Town of Cedarburg signage ordinance.



Figure DG 2.18



Figure DG 2.19

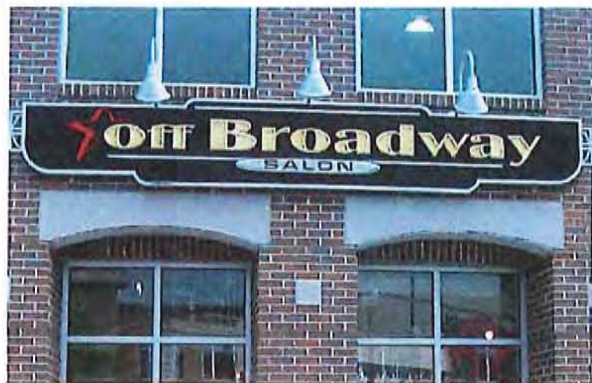
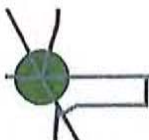


Figure DG 2.20

Wall-mounted signage should be located above the storefront adjacent to the main entrance and consist of individual letters or symbols which may be individually illuminated, backlit or lit from a nearby point source.



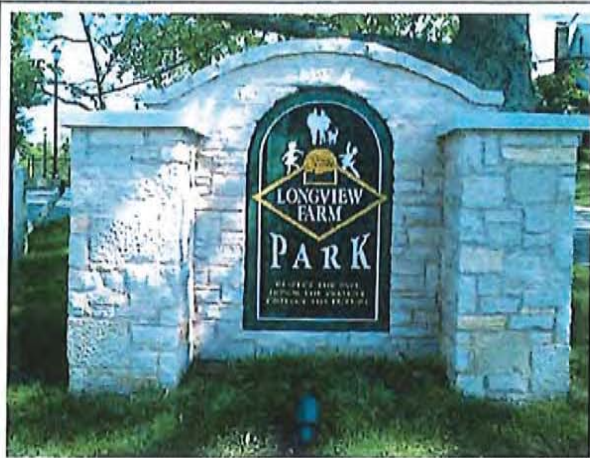


Figure DG 2.21

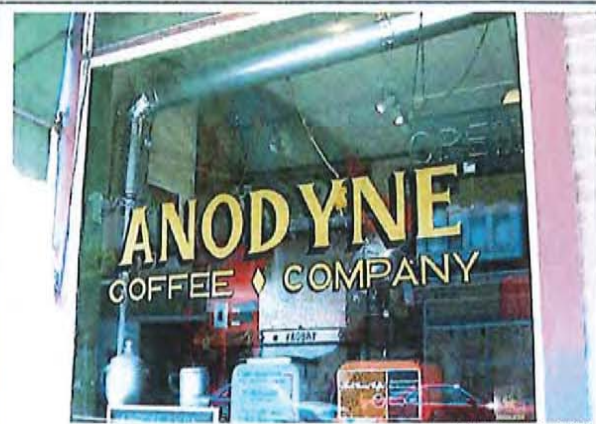


Figure DG 2.24



Figure DG 2.22

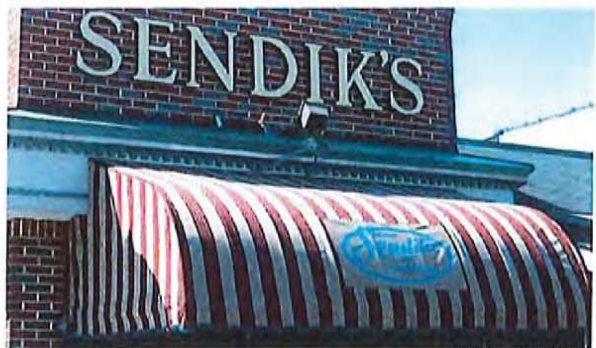


Figure DG 2.25



Figure DG 2.23



Figure DG 2.26

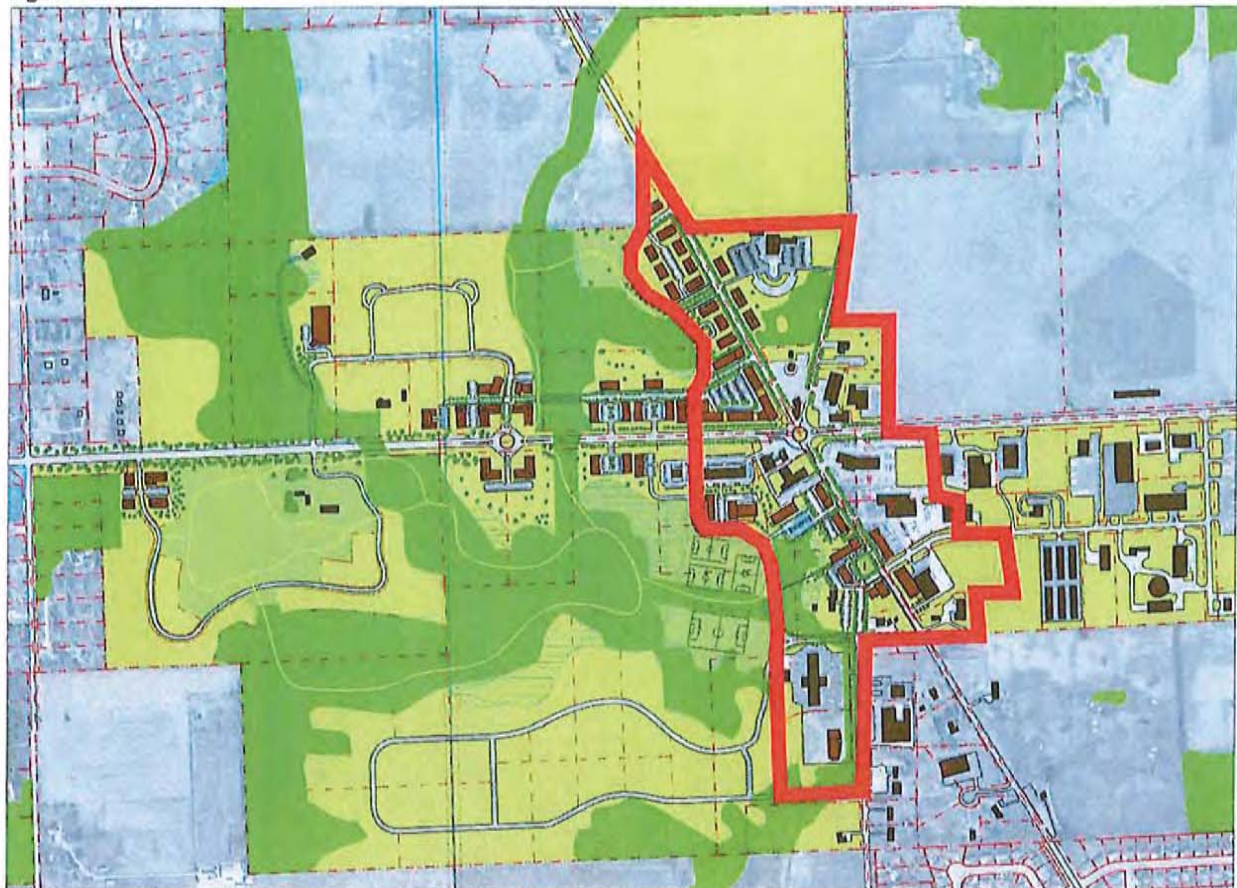
Monument signage should consist of individual letters or symbols and may be lit from within (if individual letters and symbols) or lit from a nearby point source. Landscape features at the sign's base are also encouraged.

Secondary Signage, including window, awning and canopy signage is encouraged. Window signs should be painted on the window, not placed behind it. Window signs must not significantly reduce visibility between the exterior and the interior or decrease the level of natural light within the building. Canopy and awning signage may consist of letters or symbols applied to the top as well as the front of these elements. Canopies or awnings should not be lit from within, though point source lighting may be used to light the signage.

Main Street Pedestrian Sub-area Guidelines

The following guidelines are intended to aid developers, property owners and designers to create site plans and buildings that respond to the desired character traits found within Main Street Pedestrian Sub-Area.

Figure DG 3.0



Land Use/Mixed-use Development

In order to create a "Main Street" feel for the area, the sub-area should contain as many mutually beneficial land uses as possible. In contrast, single use districts tend to maintain activity only during certain times of the day.

Land uses encouraged in Main Street Pedestrian Sub-area include retail, professional office, residential, entertainment and civic. Together, these uses achieve a critical mass that draws people to the area while providing needed services and amenities to the Town residents.

While many of these uses are similar to those found in other areas of the Five Corners Town Center District, intensities in this sub-area are higher and mixed-use buildings are highly encouraged.

Within this mixed-use area, buildings with multiple uses aid in the creation of additional activity for the area. In mixed-use buildings ground floor uses should be those that have the most interaction with the public such as retail spaces, lobbies and civic uses. Less active uses, including office or residential uses, should be located on upper floors (fig. DG 3.1).

Mixed-use areas may also be developed utilizing numerous single use buildings in near proximity, grouped around a public space. This shared amenity increases the desirability of the area and provides a focal point that can promote social gathering. A retail building, an apartment building and a series of townhouses could all be organized around a small green. In this case, the green provides a place for visitors and residents to gather while providing enough separation between uses for each to maintain their own identity and still relate to their surroundings.

Residential uses found in the Main Street Pedestrian Sub-area should be multifamily dwellings. Appropriate residential buildings should be in the form of townhouses, row houses, or apartment style multifamily buildings. Single family homes should be discouraged in this area.

Figure DG 3.1: Mixed-use development is pedestrian friendly and increases activity in an area by placing several uses close to each other.



Main Street Sub-Area Site Composition

A well composed site, with building(s), parking and outdoor features properly located, creates a place with visual appeal and draws people in. The placement of a building(s) on a site and its relationship to the surroundings is the most critical factor in creating a memorable place. Irregular or unorganized building placement results in places that have little or no draw to them.

Development located within the Main Street Pedestrian Sub-area should emulate the character found in many traditional main streets. Site plans should be arranged to maximize activity adjacent to the public realm and encourage pedestrians in the area.

Buildings should be located in close proximity to streets to enhance the ease of use and experience for pedestrians. A building should not be located at the rear of the parcel with only a parking lot at the street. Additionally, voids in the built environment created by buildings spaced too far apart or excessive variation of setbacks should be avoided. The building, the space enclosed by it and the activity generated by it should be the primary visual feature of the site (fig. DG 3.2, 3.3).

Required building elements such as service entries, loading areas and refuse enclosures should be located at the rear of the parcel with sufficient screening to prevent views from public areas.

Sidewalks and bike paths should be integrated into site plans to ensure the Town Center is accessible by pedestrians.

Parking for the Main Street Pedestrian Sub-area may be balanced between on-street angle or parallel stalls and off-street lots, minimizing the presence of vast parking areas. Parking lots should be located at the rear or side of the parcel, using the building or other screening devices to minimize views into the parking area. Parking lots on the side of the building should be limited to a single bay of parking (60') perpendicular to the street with walkways on each side for pedestrian access.

Outdoor spaces developed to compliment the building, such as seating areas, gardens or other features are encouraged and should be located at the front of the parcel.



Figure DG 3.2: Character Image for Main Street Pedestrian Sub-area. and example site plan within the Main Street Pedestrian Sub-area.

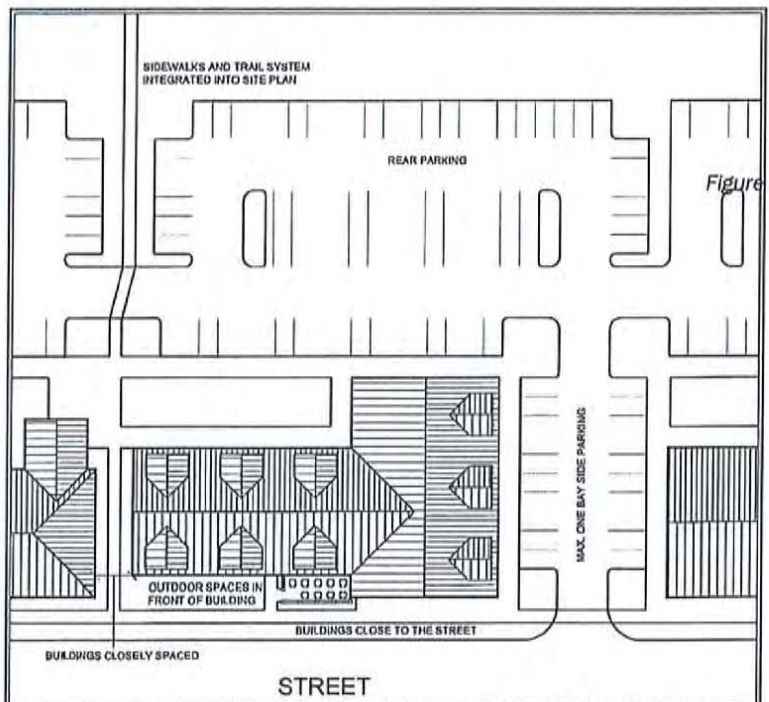


Figure DG 3.3: Example site plan

Building Scale

Buildings within the Main Street Pedestrian Sub-area must be of sufficient height to enclose or anchor public spaces. At the same time, the buildings must not be too tall as to dominate the landscape and detract from the rural character of Cedarburg.

Buildings in the Main Street Pedestrian Sub-area should generally be two to three stories (fig. DG 3.4, 3.5). Buildings should be a minimum height of 24' to top of the parapet or bottom of the eave and appear to be greater than one story. Interior spaces of at least 18' should accompany the minimum height to prevent the appearance of height being added by oversized parapet walls or false windows. Upper floors or mezzanines are encouraged but not required. An additional level of windows should be added above the ground level to replicated the appearance of an upper story. False windows built into parapet walls are strongly discouraged.

Buildings on sites adjacent to designated public spaces should be a minimum of two occupiable stories to increase the density and activity surrounding these spaces.

To preserve the existing character found in Cedarburg, buildings should not exceed three stories.



Figure DG 3.4: Building height in the Main Street Pedestrian Sub-area should be between two and three stories.



Figure DG 3.5

Town of Cedarburg
Five Corners Town Center

Public Spaces

Public spaces within the Main Street Pedestrian Sub-area should be pedestrian-oriented features that encourage people to congregate, to see and be seen. Commercial and mixed-use developments should create active spaces that people want to occupy.

Public spaces in the Main Street Sub-Area should be public squares, plazas or small privately owned seating areas or gardens.

Public squares should be developed in areas with high, or potentially high, levels of activity. Public spaces away from active uses are typically empty and devoid of life (fig. DG 3.7).

Public spaces should be smaller in scale in order to concentrate pedestrian activity into nodes. Larger public squares often have too little activity present to be successful. Public squares should not exceed 80'x120' unless accompanied by an activity generating feature.

These spaces should be surrounded by public right-of-way and have their edges defined with street trees; small landscape features and decorative fencing or garden walls along the perimeter are encouraged to further define the public spaces. A mix of seating types should be provided including but not limited to benches, chairs and low ledges and walls. Other furnishings, such as refuse containers and bike racks are also encouraged as they increase the ease of which the space is used.

Additionally, pedestrian level lighting should be incorporated into the public spaces and along streets in the Main Street Pedestrian Sub-area to enhance the definition of these spaces.

Outdoor spaces, such as cafes and restaurants with outdoor seating areas, should be visible from public rights-of-way, adding activity and visual richness to the pedestrian realm (fig. DG 3.6). Seating areas should be spatially defined by low level decorative fencing, garden walls or landscape features. Tables and chairs should be moveable to allow for user customization and seasonal removal. Landscaped areas, pavilions or other well-defined seating and gathering areas are also encouraged.

Figure DG 3.6: Cafes and restaurants with outdoor seating brings activity to public areas by increasing the number of people visible.



Figure DG 3.7: Public squares generate value and desirability while increasing the activity of in an area.

Parking

Parking lots designed as merely service areas have negative impacts on the visual quality and activity of an area. Parking areas should be designed to be a positive element of a development, being a place that has aesthetic value and the potential for other activities within it.

In the Main Street Pedestrian Sub-area, parking needs should be accommodated with a mix of off-street lots and on-street stalls whenever possible. On-street parking stalls provide short term parking capacity without negative visual impact on surrounding spaces.

When possible, parking areas should be shared by adjacent users and mixed-use developments to eliminate unnecessary parking stalls and impervious surfaces. In particular, uses that generate their peak traffic at different times of the day are prime candidates for shared parking.

The majority of parking in lots should be located at the rear of the parcels, behind the building (fig. DG 3.8). Parking on the side of the building is permitted but limited to one bay (one drive lane and one row of parking on each side) perpendicular to the street (fig. DG 3.10). Parking areas in front of the building are strongly discouraged.

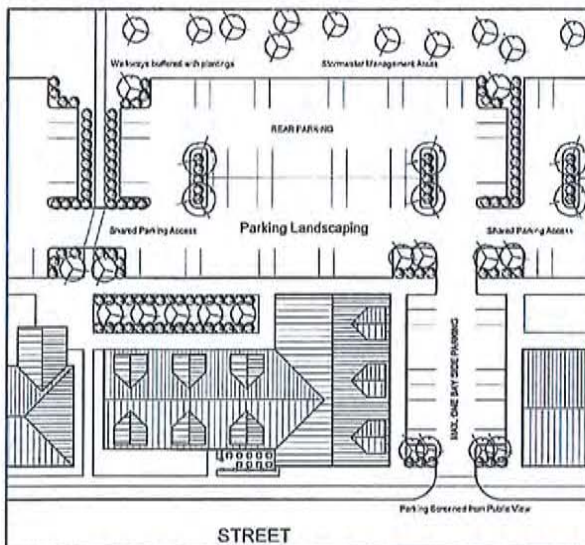


Figure DG 3.8: Parking should be located on the side or behind buildings in the Main Street Sub-Area. A maximum of one bay perpendicular to the street is permitted in this area.

Within the lot, plantings and walkways should be incorporated to enhance the appearance of the area while adding functionality. Pedestrian walkways provide a safe and attractive means of passage for pedestrians to and from their vehicles (fig. DG 3.9). Walkways should be buffered from driving lanes and parking stalls with landscaping and other features such as decorative paving and pedestrian-scaled lighting. Pedestrian crossings should be provided to access the walkways from other locations within the lot.

Parking areas should also be designed with stormwater retention devices incorporated into the plan. Bioswales and rain gardens can be integrated with other landscaping found within and surrounding the lot. Porous paving should be investigated for each development to determine if it is a feasible alternative.



Figure DG 3.9



Figure DG 3.10

Town of Cedarburg

Five Corners Town Center

DG-22

Buffers and Screening

Screening of parking lots and other required elements greatly enhances the overall appearance of a building or site. Additionally, buffers present between certain uses minimize unwanted visual or audible intrusions.

Parking Areas

Effort should be taken to minimize the visual impact that parking areas impose on streets and adjacent spaces found within the Main Street Pedestrian Sub-area. Parking lot perimeters should be screened on all sides to significantly obstruct views into the parking area.

On edges fronting a public spaces, such as a square or street, it is preferred to screen lots using a garden wall or ornamental fencing with additional landscaping features such as trees or shrubs at its base (fig. DG 3.11, 3.12). The fence or wall is intended to provide visual continuation of the building front near the street edge.

Perimeters not adjacent to public spaces should be screened primarily with landscape features, such as trees or shrubs, but fences or garden walls are also acceptable.

Other Screening

In addition to parking areas, service areas, loading areas, trash receptacles and ground floor mechanical components are to be screened from public view. Densely planted trees, shrubs, and decorative opaque fencing/garden walls or a combination of elements should be used to screen these areas and should be at least 6 feet high (fig. DG 3.13).

If adjacent incompatible uses, such as residential and industrial, are located in the Main Street Pedestrian Sub-area, buffering techniques should be utilized to minimize undesirable impact for adjacent users. Buffers should be located on the parcel housing the more intense use, and typically consist of multiple rows of densely planted trees and shrubs. Trees should be a mix of deciduous and coniferous to maintain adequate screening during winter months.



Figure DG 3.11: Preferred methods of screening in the Main Street Sub-Area is a garden wall with landscape features planted at its base.



Figure DG 3.12

Figure DG 3.13: Mechanicals and other required buildings elements should be screened completely from public view.



Signage

While critical to business and wayfinding, signage should be a secondary visual feature to the building and place. Proper signage can compliment successful buildings and outdoor spaces whereas inappropriate signage can severely detract from an area.

Signage in the Main Street Pedestrian Sub-area should respond the desired character, pedestrian activity and scale of the area while balancing the need for identification of a business or other use.

Given the area's emphasis on pedestrian activity and the creation of a main street atmosphere, signage should be carefully evaluated to ensure it corresponds with these goals. A building's primary signage within the Main Street Pedestrian Sub-area should be wall-mounted, either projecting or flat (fig. DG 3.16-3.19). Monument signage is acceptable but is not the most appropriate in this area. If monument style signage is required, it should be integrated into an additional site feature, such as a garden wall for an outdoor seating area or parking screening and should not exceed 4' in height (fig. DG 3.15). Pole signage as well as billboard style wall-mounted or roof-mounted signs should be highly discouraged.

Secondary forms of signage, such as window, canopy or awning styles, are encouraged (fig. DG 3.20, 3.21).

Additionally, a unique Five Corners signage aimed at pedestrian traffic should be developed for wayfinding and highlighting the area's unique identity (fig. DG 3.14).



District Signage should promote the Five Corners area and assist in wayfinding. It should typically be monument but wall-mounted types are also acceptable.

Figure DG 3.14

Signage should be designed to be consistent with the building facade or other site features. Similar materials, colors, and styles should be used to ensure the signage is consistent with the building design. Materials must be of high quality to prevent premature aging, fading, and weathering of the sign.

Signage should consist of individual letters and symbols affixed to a background, building wall surface or other armature. Preferred methods of signage illumination include individually illuminated letters, backlit lettering or illumination from a nearby point source. Signage backgrounds should not be internally illuminated.

All signage must be consistent with the Town of Cedarburg signage ordinance.



Figure DG 3.15

Monument signage in the Main Street Pedestrian Sub-area should be integrated into an additional site feature, such as a garden wall or a screening device. Landscape features at the sign's base is also encouraged.



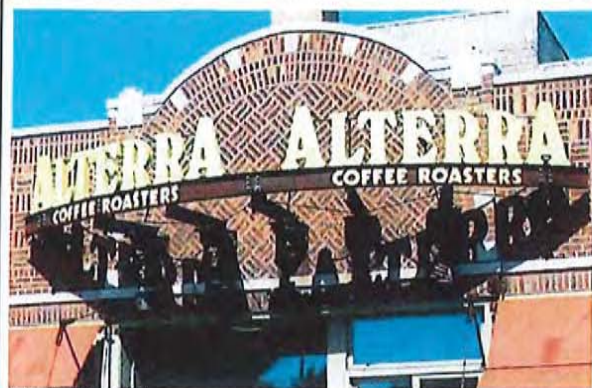


Figure DG 3.16



Figure DG 3.20



Figure DG 3.17



Figure DG 3.21



Figure DG 3.18



Figure DG 3.19

Secondary Signage, including window, awning and canopy signage is encouraged. Window signs should be painted on the window, not placed behind it. Window signs must not significantly reduce visibility between the exterior and the interior or decrease the level of natural light within the building. Canopy and awning signage may consist of letters or symbols applied to the top as well as the front of these elements. Canopies or awnings should not be lit from within, though point source lighting may be used to light the signage.

Wall-mounted signage should be located above the storefront adjacent to the main entrance and consist of individual letters or symbols which may be individually illuminated, backlit or lit from a nearby point source.

General Site Guidelines:

Five Corners Town Center District & Main Street Pedestrian Sub-area

The following guidelines apply to all areas within the redevelopment boundary. They are intended to aid developers, property owners and designers to create site plans that correctly located the building, parking, access points, and other features.

Site Access

Multiple methods of accessing a destination should be available to ensure the Five Corners area can be reached by pedestrians of bicyclists, as well as motorists. Well-organized vehicular and pedestrian access into and between sites provides clear and safe circulation.

Vehicular access along State Highways should follow the standards set forth by Wisconsin Department of Transportation. Internal circulation systems should be created to access sites with multiple buildings on state highways, while creating alternative routes through the site.

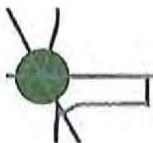
Access from local roads should be shared between sites whenever possible. New access drives should also be located directly across the street from existing drives (fig. DG 4.1).

Vehicular access between adjacent sites should occur when possible, eliminating the need to return to the public street when visiting multiple adjacent sites. Shared access agreements should be created to ensure continued use and proper management.

Additionally, sites within the Town Center district should incorporate municipal sidewalks into their plans. Walks should be a minimum of 5 feet in width and be located along the public edges of parcels, between parking areas and buildings, as connections between adjacent sites, and within large parking areas.

Site plans should integrate the Town of Cedarburg's bicycle paths when they are present. On these parcels, bicycle travel should be accommodated through the installation of permanent bicycle racks.

Figure DG 4.1



Landscape Design

Landscaping can enhance the natural environment, define outdoor spaces and, when used as a buffer, can successfully minimize the visual impact between incompatible uses. Landscaping of new development is essential to preserving the character currently found in the Town of Cedarburg.

Landscaping should be viewed as a fundamental component of site design. Landscaping around the site should be organized to accent architectural features, define or reinforce other outdoor spaces and create or enhance natural settings.

Landscape design should highlight existing natural features present on each site. Old growth trees, woodlands, wetlands, water features and other similar elements are to be prominent landscape features that should be incorporated into landscape and site plans to the highest degree possible. Existing environmental corridors delineated by SEWRPC or other civic entities should be preserved.

Landscaped outdoor spaces for building users should be created and placed within public view (fig. DG 4.2, 4.3). These spaces generate activity outside the building creating a more vibrant district. Features such as seating areas, gazebos, or pavilions are encouraged.



Figure DG 4.2



Figure DG 4.3

Stormwater Management Design

Stormwater management features should properly handle storm water run-off, but also be designed in a way to serve as focal points and aesthetic features.

When publicly visible, stormwater management ponds and basins should be designed as naturally appearing features surrounded by appropriate vegetation (fig. DG 4.5-4.9). Rigid geometric shapes should be avoided.

Stormwater ponds are encouraged to be located as prominent landscape features when possible, serving as development gateways and visible natural areas with adjacent gathering spaces.

All stormwater management areas should have a maintenance plan to ensure proper water handling as well as a pleasant visual appearance.



Figure DG 4.5: Rain gardens retain and filter stormwater from parking lots and buildings while existing as attractive landscaping or screening elements



Figure DG 4.6

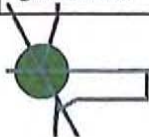


Figure DG 4.7: A stormwater pond extended to the building creating a natural area surrounded by a patio with gathering opportunities.



Figure DG 4.8: A well-landscaped edge of a stormwater pond transforms the area into an asset and a focal point

Figure DG 4.9



Environmental Preserve Areas

Public spaces encourage the establishment of community pride. Distinct features and amenities create value in the Environmental Preserve district. Spaces should be appropriate to the more open and rural setting generally found in the Town of Cedarburg and within this district.

Public spaces in the Environmental Preserve should be developed into common open spaces that enhance the character of the redevelopment area. Spaces should generally be larger open or natural areas. Formal spaces such as squares or plazas are acceptable but should generally not be located in this district.

Open Spaces in this district should primarily be a visual and character-maintaining feature that balances appropriate active and passive recreational opportunities. Open space types such as prairies, gardens, forested areas, orchards and neighborhood parks are encouraged in this area (fig. DG 4.10-4.12). Large expanses of manicured lawn, including play fields are also acceptable. If stormwater detention ponds are included in the open space, they should be designed as naturally appearing features.

Open spaces should strive to preserve existing site features such as woodlands, wetlands, bodies of water and traditional farmsteads, maintaining the natural character desired in the Town of Cedarburg.

A trail or path system should be developed in conjunction with all open spaces in this area. Paths should connect with other spaces in the Five Corners creating the possibility of alternative means of transportation between destinations. Trails should take organic paths along their length; strong geometric paths should be avoided.

Additionally, residential areas adjacent to the Environmental Preserve areas should allow residents to easily access these spaces. Stretches of public rights-of-way adjacent to these spaces ensures this amenity is highly visible and accessible. If a right-of-way is not located adjacent to Environmental Preserves, periodic access points located between lots should be developed.



Figure DG 4.10



Figure DG 4.11



Figure DG 4.12

Architecture

Five Corners Town Center District & Main Street Pedestrian Sub-area

The following guidelines apply to all areas within the re-development boundary and outline specific building elements and design strategies that aid in the creation of successful and quality development.

Building Composition and Massing

Implementation of basic architectural design principles ensures buildings compliment each other and create cohesive street faces, while promoting individual building expression and style. Visually interesting facades appeal to the general public while enhancing spaces adjacent to buildings.

Base-Middle-Top

Buildings should be comprised of a visually distinct base, middle and top (fig. DG 5.1). Adopting a base-middle-top strategy provides a flexible method of relating the building to the pedestrian (base), to the surrounding architecture (middle), and the opportunity for unique identity where the building meets the sky (top). Expression of these zones should be handled through changes in plane, changes in material, horizontal bands, cornices, and/or varied window openings.



Figure DG 5.1: A base-middle-top approach to design allows for visual continuity and individual expression between buildings.

Vertical Orientation

Buildings should express verticality and should avoid horizontal geometry. Repetitive vertical elements, such as structural bays, window opening or arcades, help add depth and interest to facades (fig. DG 5.2). Excessive use of horizontal elements, such as ribbon windows, creates lifeless facades with little interest. Vertical orientation does not mean tall buildings, but elements within the facade should be vertical in nature.



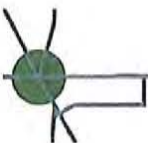
Figure DG 5.2: Vertical orientation of facade elements makes buildings more interesting.

Distinct Masses

Buildings should not be designed as simple boxes, but rather a series of complimentary and identifiable masses and forms (fig. DG 5.3). This geometry gives building scale and visual richness. This can be accomplished through recessions and projections, creating distinct building components, and varying heights and roof forms according to individual building components.



Figure DG 5.3: Distinct masses in a building's form provide scale and create interesting architecture.



Proportion

Building massing and components should demonstrate consistent proportional harmonies; the use of proportion is intended to provide a sense of visual harmony among elements of a building (fig. DG 5.4). Proportion in architecture is the consistent numeric ratio of two opposing dimensions such as height:width throughout various building components. Elevations often include multiple proportioning systems (i.e. some components relate to one height:width ratio, while other components relate to another ratio). Buildings with vertically proportioned components (height greater than width) are encouraged to avoid squat-appearing buildings.

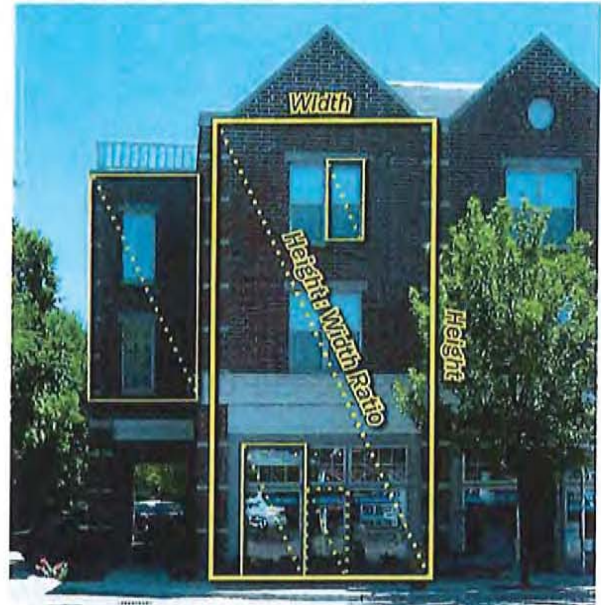


Figure DG 5.4 Visual harmony through the use of proportion among building elements (above). No proportioning system often results in buildings with little visual harmony or architectural rhythm.

Facade Layering and Depth

Primary building facades should be articulated in a way that give the appearance of multiple layers within the facade. This technique adds depth to the building and prevents the appearance of flat primary facades. Suggested techniques include: setting windows back from the exterior wall plane, adding decorative elements such as cornices, lintels, sills, awnings and canopies, expressing structural columns through change of plane, creating arcade walkways, and extending roof eaves (fig. DG 5.5).



Figure DG 5.5: Layering of facades adds depth and visual interest to architecture.

Primary Building Entry

Entries that are clearly identifiable, easily accessible, and visible from public areas are inviting and provide visual interest at the street level.

The major public entry should be a prominent visual feature of a building (fig. DG 5.6, 5.7). Users should be able to discern the entry of a building from a distance to ease the progression to the building. This entry should be oriented toward a public space such as the parking area or street right-of-way (fig. DG 5.8).

The entry should be easily distinguishable from the rest of the building and given prominence through recess/projection, weather protection, change in material or height, added detail or other methods.

If multiple retail tenants occupy the ground floor of a building, each should have their own separate and distinct entry. If the ground floor is occupied by office uses a shared entrance is appropriate. Upper floors of office or residential may be serviced by a single ground floor entry. Residential units on the ground floor of both row house and apartment style units, should have individual entries as well.

Service entries and garage doors should be located away from public view to the greatest degree possible.

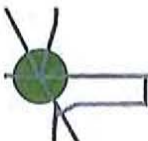


Figure DG 5.6: Building entries should be prominent visual features and easily distinguishable from the rest of the building.



Figure DG 5.7

Figure DG 5.8



Windows and Glazing

Buildings without sufficient glazing often deaden otherwise successful areas. Buildings with higher levels of glazing help create pedestrian friendly areas by allowing a visual dialogue between the interior and exterior. The activity inside spills into areas outside the buildings, providing interest and activity, and at night a secondary source of lighting.

Glazing levels of a building should be responsive to the anticipated activity found in the immediate area of a building. High activity areas found within the Five Corners Town Center District should exhibit high level of glazing to reinforce the pedestrian atmosphere.

Buildings within the Main Street Pedestrian Sub-area should utilize a "storefront" or similar configuration that maximizes transparency (fig. DG 5.9, 5.10). Primary facades within the area should utilize clear glass for 75% of the facade between the heights of 3 and 8 feet.

Buildings outside the Main Street Pedestrian Sub-area may respond to the less intensive character by lowering the amount of required glazing to 50% on primary facades (fig. DG 5.11).

Windows should be located to maximize facade transparency along publicly accessible/visible areas. Additionally, building layouts should be designed to locate active spaces such as shopping areas, product displays and office spaces toward the windows to further enhance the visual connection and activity outside of the building.

Examples of appropriate quantity and location of glazing for a variety of building types.



Figure DG 5.9



Figure DG 5.10



Figure DG 5.11

Awnings, Canopies and Solar Shades

While intended to provide protection from inclement weather and shade from excessive sunlight, awnings, canopies and solar shades create depth in the facade, add color and soften the building edge in pedestrian zones.

Awnings, canopies and solar shades are encouraged on commercial development in the Town of Cedarburg. Awnings and canopies should be located above the ground floor and should correspond with window and door placement. These features may be placed only over fenestration or may extend for all or part of the primary facades to emphasize areas or give prominence to openings. Awnings and canopies should be sufficiently deep to provide shelter in inclement weather; awnings and canopies extending less than three feet should be avoided.

Awnings should be composed of planar surfaces in simple geometric shapes (fig. DG 5.12, 5.13). Curved awnings should generally be avoided. Awnings should be constructed out of durable, weather resistant materials and should not be constructed of vinyl. Internal lighting of awnings should be avoided.

Protruding solar shades are acceptable on all levels of a building (fig. DG 5.14) and may be used to emphasize certain portions of the building, such as the top floor. Solar shades should be used in correct orientations to the sun, and should generally not be used on northern facades.



Figure DG 5.12



Figure DG 5.13



Figure DG 5.14



Figure DG 5.15

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Materials

Exterior materials used in construction greatly influence the way a building is perceived. Proper material selection creates buildings and spaces that people want to interact with, experience, and remember.

Facades visible from public areas of the Five Corners Re-development area should be clad exclusively with finish grade materials. Buildings designed to be viewed from four sides should have finish grade materials on all sides. Buildings with facades completely hidden from public view may use utility grade materials, such as concrete block, only on those facades. All materials should be durable and weather resistant.

Recommended primary finish materials include brick, stone, finished wood siding, stucco and glass (fig. DG 5.16-5.19). Other materials such as precast concrete, decorative concrete block or decorative facade panels may be appropriate if properly detailed and integrated with the architecture.

Accent materials are encouraged to add visual interest and emphasize certain aspects of the building. Recommended accent materials included terra cotta, finish metals, decorative stone such as marble or granite and glass block.

Certain metals may be used as accents, but not as the primary material for any facade. Corrugated metal as a primary material should be strongly discouraged.



Figure DG 5.16



Figure DG 5.17



Figure DG 5.18



Figure DG 5.19

Illumination

Appropriate illumination of a building and adjacent spaces can emphasize building elements and spaces, while creating a sense of security and intimacy.

Several types of lighting are encouraged to maintain activity in spaces into the night. Storefronts should be illuminated allowing light to spill onto adjacent walkways and spaces. Wall mounted and ground light fixtures should be used to highlight architectural elements and enliven facades (fig. DG 5.20-5.22). These can also illuminate public areas adjacent to the building. Public and private outdoor spaces should be illuminated using pedestrian level lighting at comfortable illumination levels. Utilizing pole-mounted fixtures and lit bollards to illuminate walkways is also an effective approach to defining the pedestrian zone and surrounding areas.

Lighting fixtures should conceal the light source and provide diffused or soft reflected light. Fixtures should generally be directed downward to avoid light pollution; lights may be directed up may to illuminate architectural features or monument or wall-mounted signage. All lighting fixtures, however, should be selected to avoid negative impacts on neighboring properties. Parking lot and high mast mounted street lighting should utilize fixtures that reduce glare and intrusion into adjacent areas.



Figure DG 5.20



Figure DG 5.21



Figure DG 5.22

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